

DEFINITIVE SITE PLAN  
FOR  
0 DODGE AVENUE  
WORCESTER, MASSACHUSETTS 01606

RECORD APPLICANT:  
SUNSHINE REAL ESTATE DEVELOPMENT INC.  
217 WEST BOYLSTON STREET  
WEST BOYLSTON, MA 01583

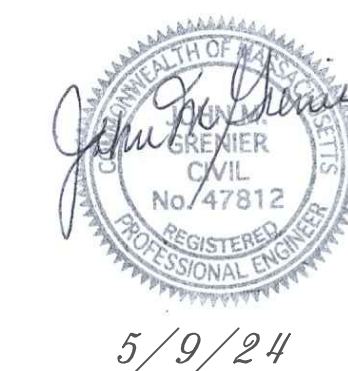
RECORD OWNERS:  
CHARLES O. A. BUABENG  
4655 ALDINE MAIL ROUTE RD APT 3A  
HOUSTON, TX 77039  
ESTHER ASARE  
4202 KESTREL RIDGE CT  
MANUEL, TX 77578

LAND PLANNERS—CIVIL ENGINEERS:  
J.M. GRENIER ASSOCIATES INC.  
118 TURNPIKE ROAD SUITE 200  
SOUTHBOROUGH, MA 01772  
(508) 845-2500

LAND SURVEYORS:  
JARVIS LAND SURVEY INC.  
29 GRAFTON CIRCLE  
SHREWSBURY, MA 01545

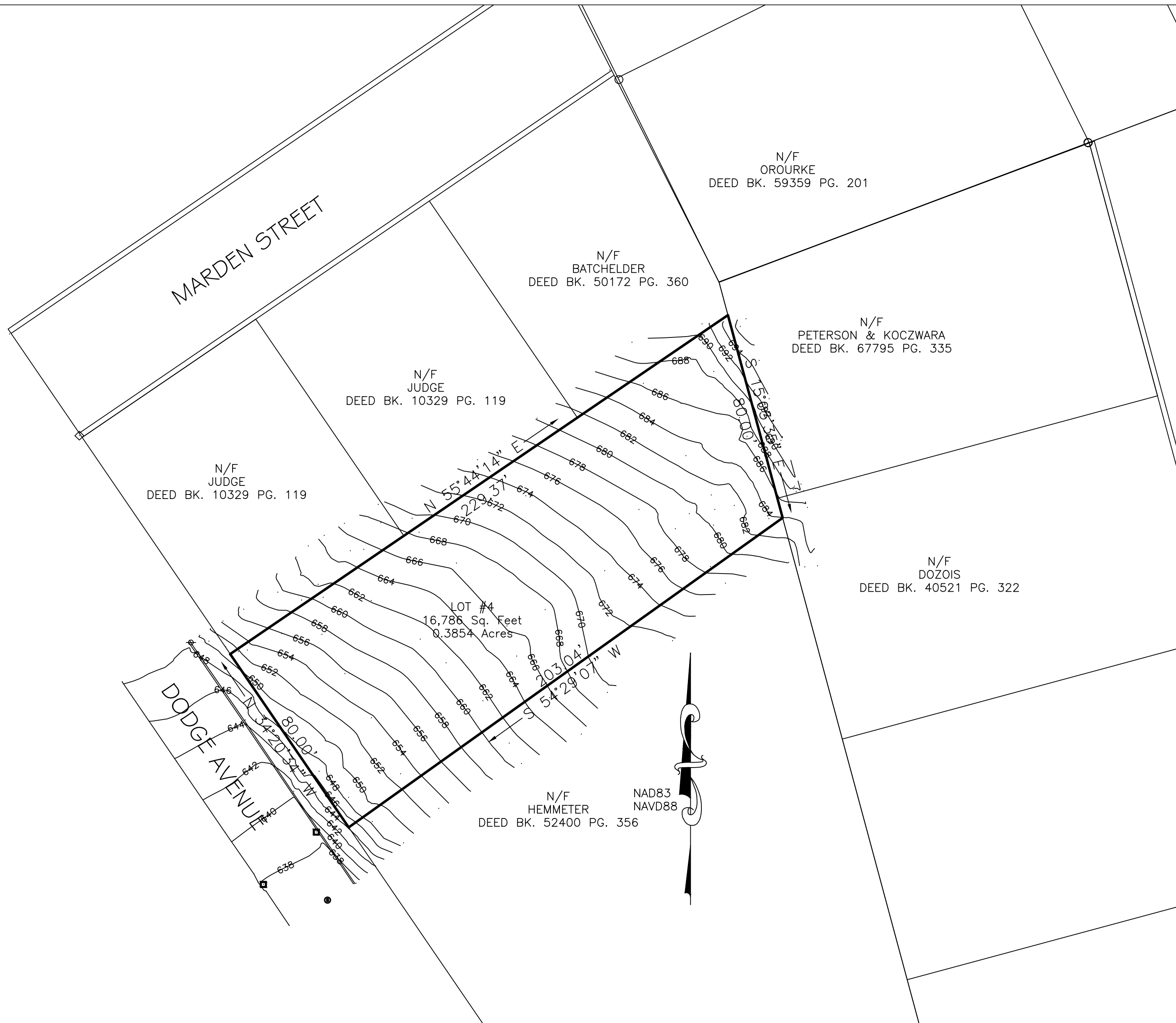
ZONING DISTRICT: RESIDENCE, SINGLE (RS-7)

INDEX DESCRIPTION	SHEET NUMBER
COVER	1 OF 5
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LAYOUT PLAN	3 OF 5
SITE DEVELOPMENT PLAN	4 OF 5
EROSION & SEDIMENTATION CONTROL PLAN	5 OF 5



5/9/24

REV. NO.	DATE	REVISION
SCALE:	AS SHOWN	DATE: MAY 9, 2024
COVER SHEET		
SHEET NO.:	PROJECT NO.:	
SHEET 1 OF 5	G-689	



**ZONING DATA:**

RS-7 (SINGLE-FAMILY)  
 LOT AREA = 7,000 S.F.  
 LOT FRONTAGE = 65'  
 FRONT YARD SETBACK = 20'  
 SIDE YARD SETBACK = 8'  
 REAR YARD SETBACK = 20'

**PLAN REFERENCE:**

PLAN BOOK 303 PLAN 86  
 PLAN BOOK 366 PLAN 34  
 PLAN BOOK 570 PLAN 72  
 PLAN BOOK 700 PLAN 20

**OWNER OF RECORD:**

CHARLES O. A. BUABENG &  
 ESTHER ASARE  
 DEED BOOK 13541 PAGE 248  
 ASSESSORS MAP 22 BLOCK 10A LOT 1-4

**LOCATION:**

DODGE AVENUE & MARDEN STREET  
 WORCESTER, MA

**JARVIS LAND SURVEY, INC**

29 Grafton Circle  
 Shrewsbury, MA 01545  
 Tel. (508) 842-8087 ~ Fax. (508) 842-0661

\* THE SURVEYOR RETAINS COPYRIGHT TO THE PLAN OF SURVEY, AND RE-USE OF THIS PLAN IS NOT ALLOWED WITHOUT PERMISSION FROM THE SURVEYOR.

9-26-2023

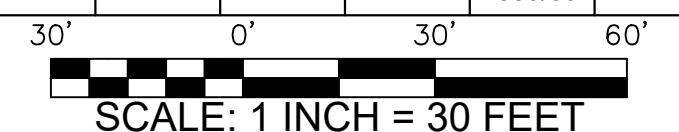


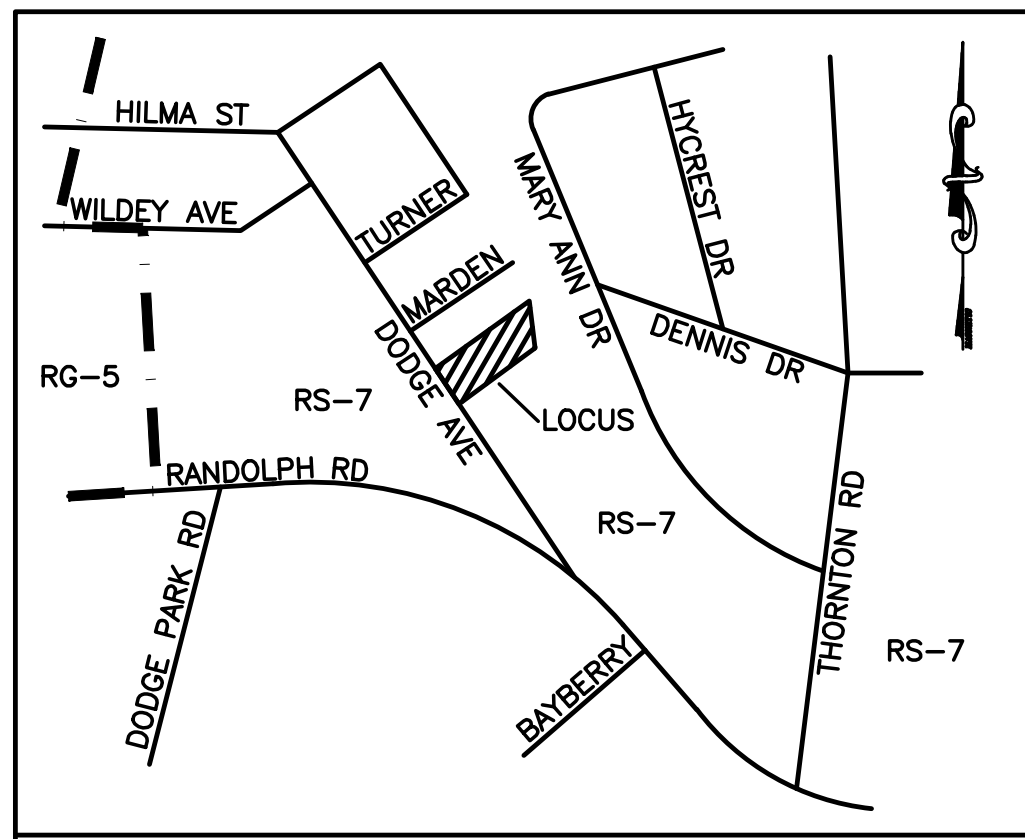
Kevin J. Jarvis  
 P.L.S. #40044

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EXISTING CONDITIONS PLAN  
 PREPARED FOR  
**TONY EVANGELISTA**  
 DODGE AVENUE  
 WORCESTER, MASSACHUSETTS

DATE:	CHECK:	CALC:	FIELD:	N.B. #	PLAN:
9/26/2023	K.J.J.	K.J.J.	CS/RB	359/59	23-401





LOCUS: N.T.S.



NOTE:  
 WRTA ROUTE 14 IS LOCATED WITHIN WALKING DISTANCE  
 TO THE SUBJECT PROPERTY (AT BURNCOAT/RANDOLPH)

**LEGEND:**

---	EXISTING PROPERTY LINE
---650---	EXISTING CONTOUR - HIGH
---648---	EXISTING CONTOUR - LOW
---650---	PROPOSED CONTOUR - HIGH
---648---	PROPOSED CONTOUR - LOW
---	EXISTING EDGE PAVEMENT
---	EXISTING CURB
---	PROPOSED EDGE OF PAVEMENT
---	CATCH BASIN BUFFER
---	EXISTING WATER LINE
---	PROPOSED WATER LINE
---	EXISTING SEWER LINE
---	PROPOSED SEWER LINE
---	EXISTING TREE LINE
---	PROPOSED TREE LINE
---	PROPOSED EROSION CONTROL

**ZONING SUMMARY**

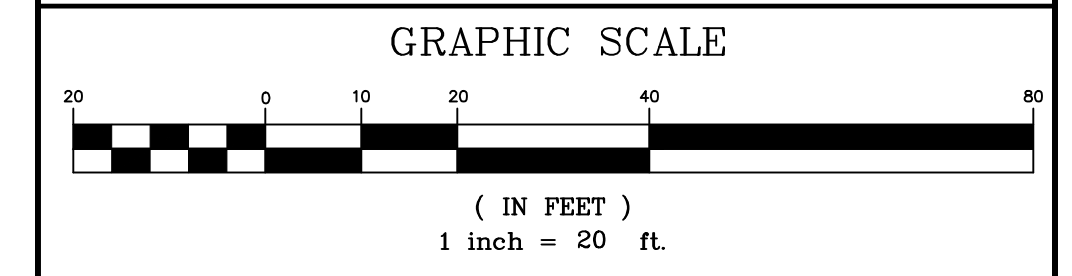
CURRENT ZONE: RESIDENCE, SINGLE (RS-7)

	REQUIRED SINGLE FAMILY	PROPOSED SINGLE FAMILY
MIN. LOT AREA	7,000 SQ.FT.	16,786 SQ.FT.
LOT REGULARITY FACTOR*	0.4	0.765
MIN. FRONTAGE	65'	80.00'
MIN. FRONT YARD SETBACK	20'	27.7'
MIN. SIDE YARD SETBACK	8'	13.2'
MIN. REAR YARD SETBACK	20'	135.6'
MAX. FRONT YARD IMPERVIOUS	40%	30.1%
MAX. BUILDING HEIGHT	35' (2+ STORIES)	<35' (2+ STORIES)

\*  $R=16 \cdot A/P^2$ , WHERE A=AREA AND P=PERIMETER

**PARKING SPACE REQUIREMENTS**

USE	REQUIRED	PROPOSED
RESIDENTIAL: 2/D.U X 1 UNIT =	2 SPACES	2 SPACES



REV. NO.	DATE	REVISION

**TITLE:**

DEFINITIVE SITE PLAN  
 FOR  
 0 DODGE AVENUE  
 WORCESTER, MASSACHUSETTS 01606

**PREPARED FOR:**

SUNSHINE REAL ESTATE DEVELOPMENT INC.  
 217 WEST BOYLSTON STREET  
 WEST BOYLSTON, MASSACHUSETTS 01583

**PROPERTY OWNERS:**

CHARLES O. A. BUABENG  
 4655 ALDINE MAIL ROUTE RD APT 3A  
 HOUSTON, TEXAS 77039  
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 MANUEL, TEXAS 77578

**PREPARED BY:**

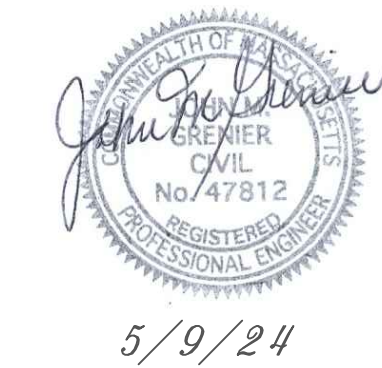
J.M. GRENIER ASSOCIATES INC.  
 118 TURNPIKE ROAD SUITE 200  
 SOUTHBOROUGH, MASSACHUSETTS 01772

TELE NO.: (508) 845-2500      jmgrenier@townisp.com

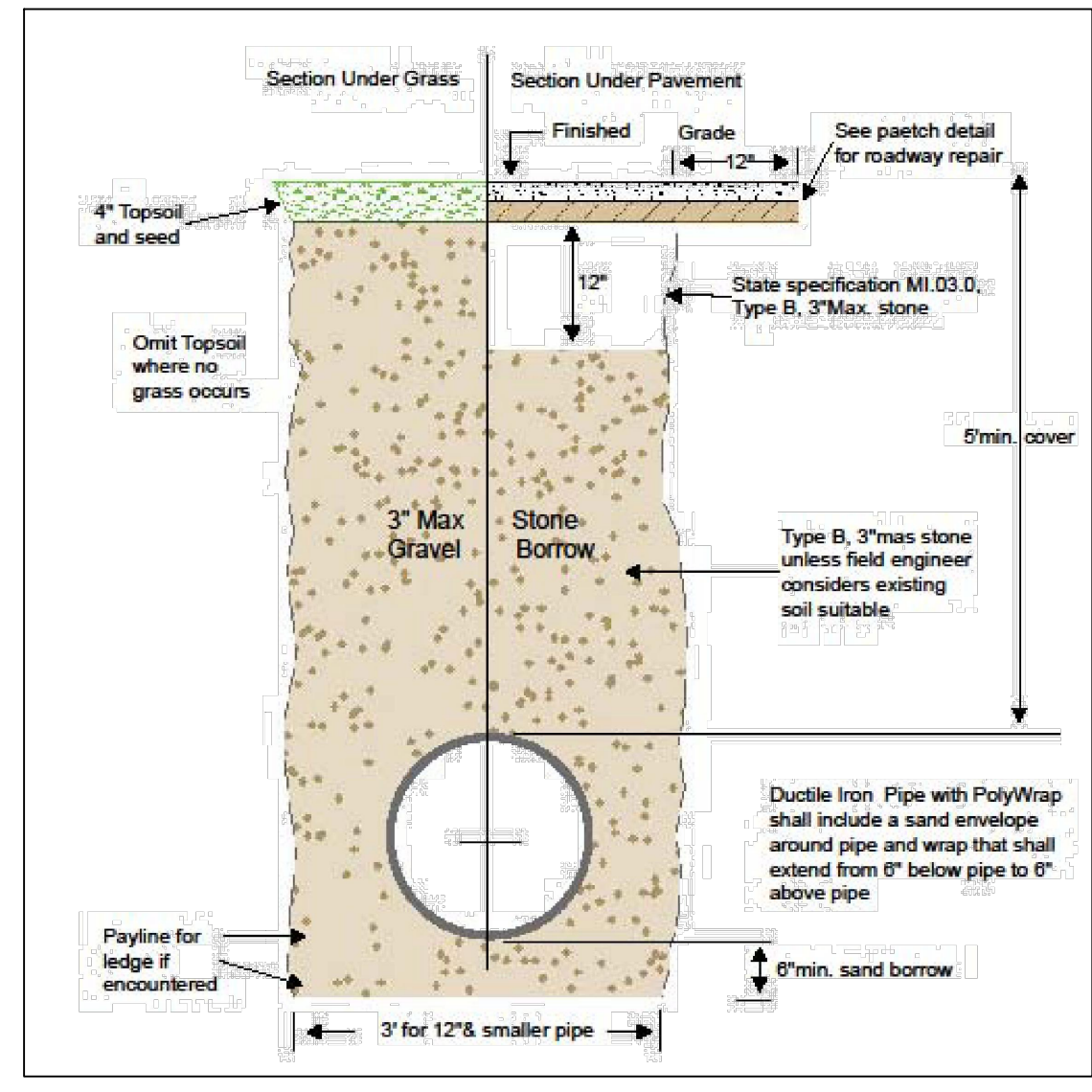
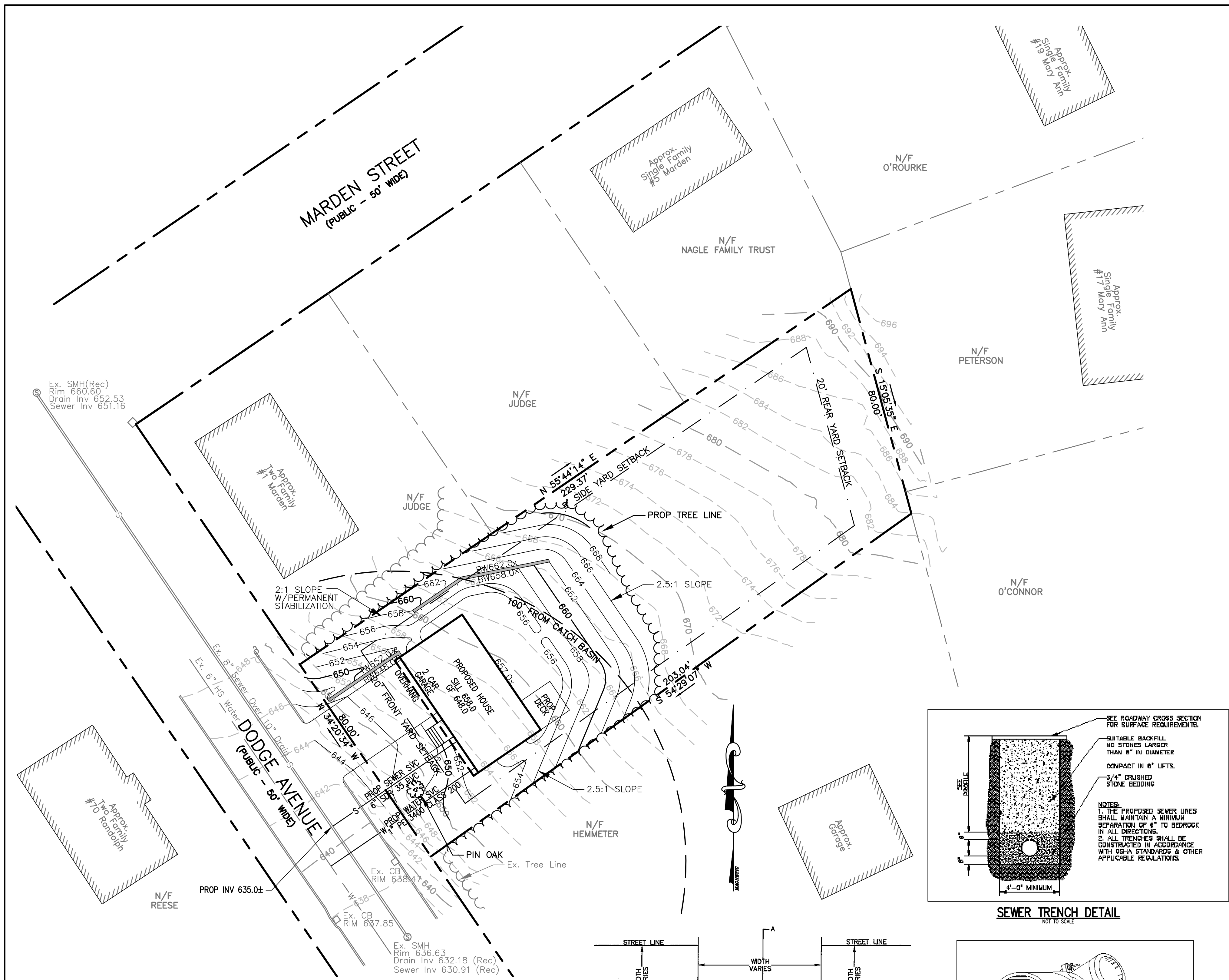
**SCALE:** 1" = 20'      **DATE:** MAY 9, 2024

**LAYOUT PLAN**

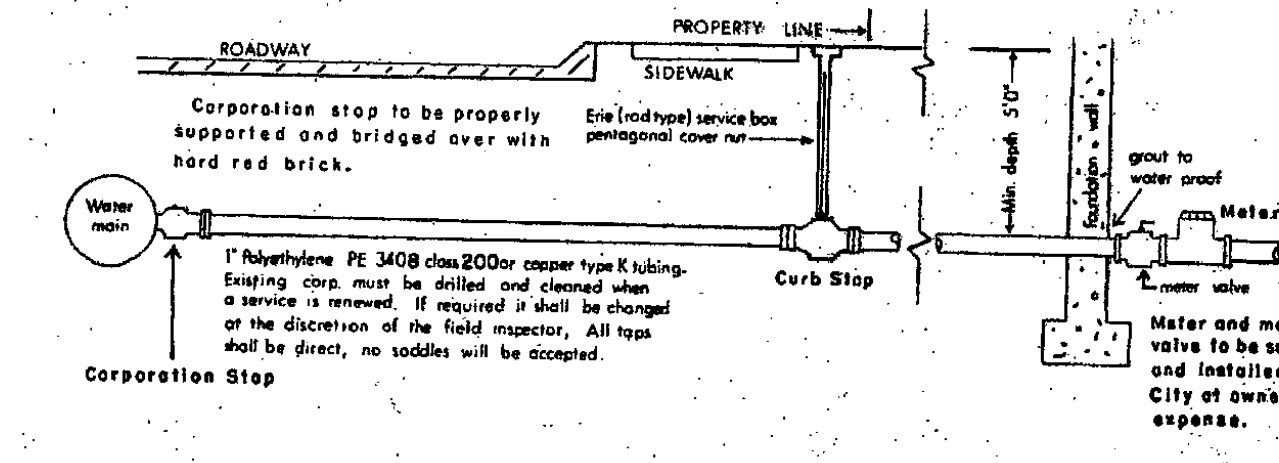
**SHEET NO.:** SHEET 3 OF 5      **PROJECT NO.:** G-689



5/9/24



TYPICAL WATER TRENCH SECTION



GENERAL NOTES

- Fittings and valves shall be manufactured by Ford or approved equal. Corporations: Ford FB1000 c.c. thread by compression; Curb Stops: B44 series full port (comp. x comp.)
- All compression fittings used on polyethylene tubing shall be installed with solid, tubular stainless steel insert stiffeners.
- Sand shall be used for backfilling from a point 6 inches below the pipe to a point 12 inches above the pipe. The remaining backfill shall have no stones greater than 3 inches in their largest dimension. Before any excavation is done and any pipe is installed, permits shall be obtained from the Management Services office at 20 East Worcester St. and the Water Engineering office at 18 East Worcester St. All paving shall conform to City of Worcester D.P.W. standards.
- Services shall be flushed in accordance with the Mass. Department of Environmental Protection Code 5 and its amendments, the water service shall be a minimum of 10 horizontal feet from the sewer service.
- The Contractor shall furnish and completely install the service from corporation to the meter valves with new materials.
- Upon installation of the service box, the Contractor shall operate the stop to the satisfaction of the Field Inspector prior to acceptance of the job.

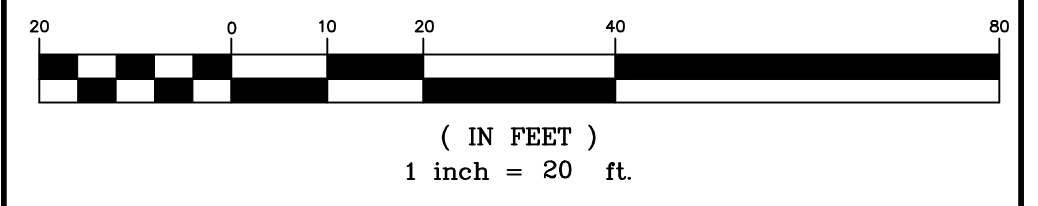
**LEGEND:**

—	EXISTING PROPERTY LINE
--- 650 ---	EXISTING CONTOUR - HIGH
--- 648 ---	EXISTING CONTOUR - LOW
- - - 650 - - -	PROPOSED CONTOUR - HIGH
- - - 648 - - -	PROPOSED CONTOUR - LOW
=====	EXISTING EDGE PAVEMENT
=====	EXISTING CURB
- - - - -	PROPOSED EDGE OF PAVEMENT
- - - - -	CATCH BASIN BUFFER
-----	EXISTING WATER LINE
-W-	PROPOSED WATER LINE
-S-	EXISTING SEWER LINE
-S-	PROPOSED SEWER LINE
~~~~~	EXISTING TREE LINE
~~~~~	PROPOSED TREE LINE
-----	PROPOSED EROSION CONTROL

- NOTES:**
- EXISTING CONDITIONS SURVEY BY JARVIS LAND SURVEY INC. 29 GRANITON CIRCLE SHREWSBURY, MA 01545.
  - REFERENCE CITY OF WORCESTER ASSESSOR'S MAP 22 BLOCK 10A LOT 1-4.
  - REFERENCE WORCESTER REGISTRY OF DEEDS BOOK 13541 PAGE 248.
  - REFERENCE WORCESTER REGISTRY OF DEEDS PLAN BOOK 570 PLAN 72.
  - DATUM IS NAVD88.
  - EXISTING SOILS ON SITE ARE PAXTON FINE SANDY LOAM (HYDROLOGIC GROUP C)

- UTILITY NOTES:**
- ALL TRENCHES WITHIN DODGE AVENUE SHALL BE BACKFILLED AS REQUIRED BY THE CITY OF WORCESTER.
  - EXISTING CATCH BASINS WITHIN 100' OF THE PROPERTY MUST BE PROTECTED WITH INLET PROTECTION AT ALL TIMES UNTIL THE SITE IS FULLY STABILIZED.
  - SEWER SHALL BE INSTALLED WITH A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FROM ALL WATER SUPPLY LINES. WHEN A 10 FOOT SEPARATION CANNOT BE MAINTAINED THE WATER MAIN SHALL BE INSTALLED IN A SEPARATE TRENCH ABOVE THE SEWER WITH AN 18 INCH VERTICAL SEPARATION BETWEEN THE CROWN OF THE SEWER AND THE INVERT OF THE WATER MAIN. ADEQUATE VERTICAL SEPARATION OF WATER/SEWER CROSSING SHALL BE CONFIRMED.
  - WATER SERVICE SHALL BE SLEEVED UNDER FOOTING WITH 2" MINIMUM DIAMETER CONDUIT.
  - CONTRACTOR SHALL CONTACT DIG SAFE AT 1-888-344-7233 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION.
  - CONTRACTOR SHALL FIELD VERIFY DIMENSIONS AND CONDITIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
  - SHOULD FIELD CONDITIONS VARY FROM THOSE SHOWN, ENGINEER SHALL BE CONTACTED PRIOR TO COMMENCEMENT OF SITE CONSTRUCTION.

GRAPHIC SCALE



REV. NO.	DATE	REVISION

**TITLE:**

DEFINITIVE SITE PLAN  
FOR  
0 DODGE AVENUE  
WORCESTER, MASSACHUSETTS 01606

**PREPARED FOR:**

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217 WEST BOYLSTON STREET  
WEST BOYLSTON, MASSACHUSETTS 01583

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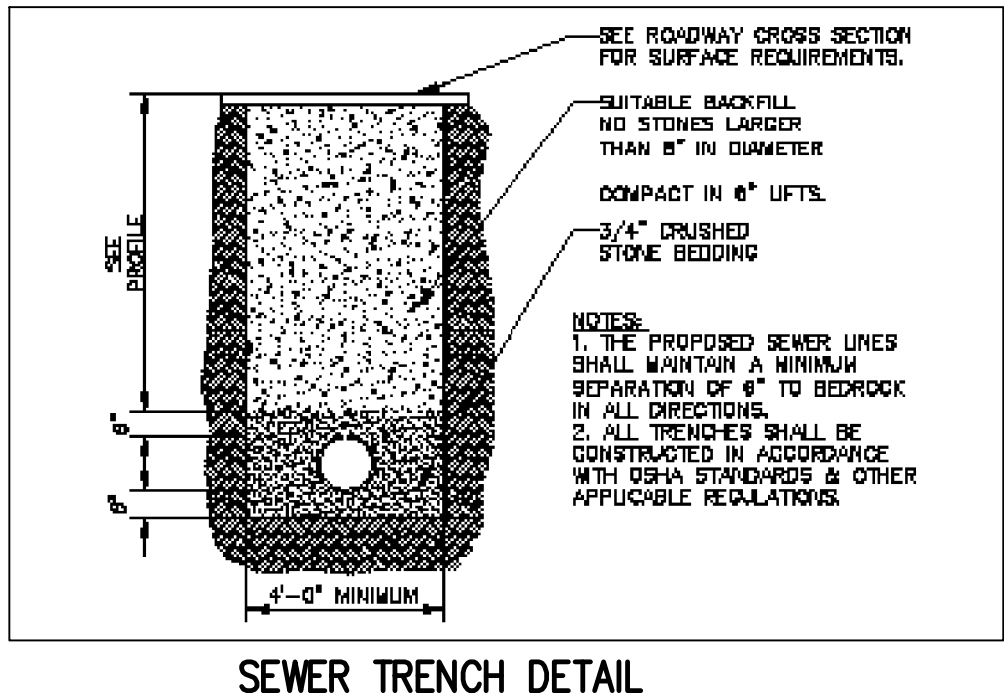
TELE NO.: (508) 845-2500      jmgrenier@townisp.com

**SCALE:** 1" = 20'

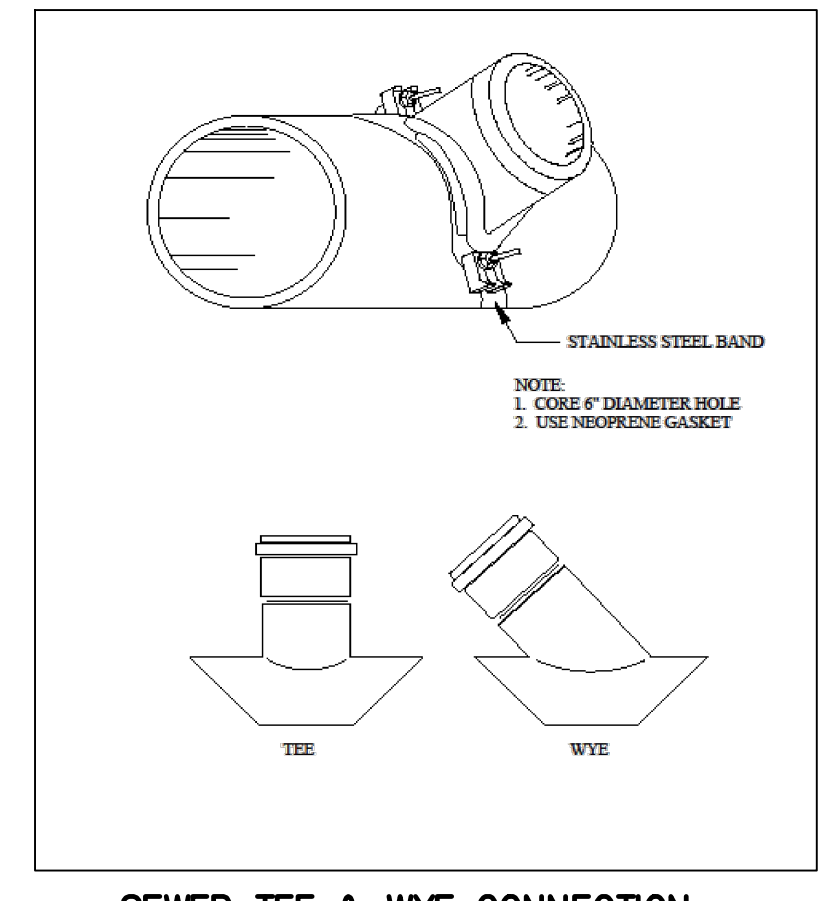
**DATE:** MAY 9, 2024

**SITE DEVELOPMENT PLAN**

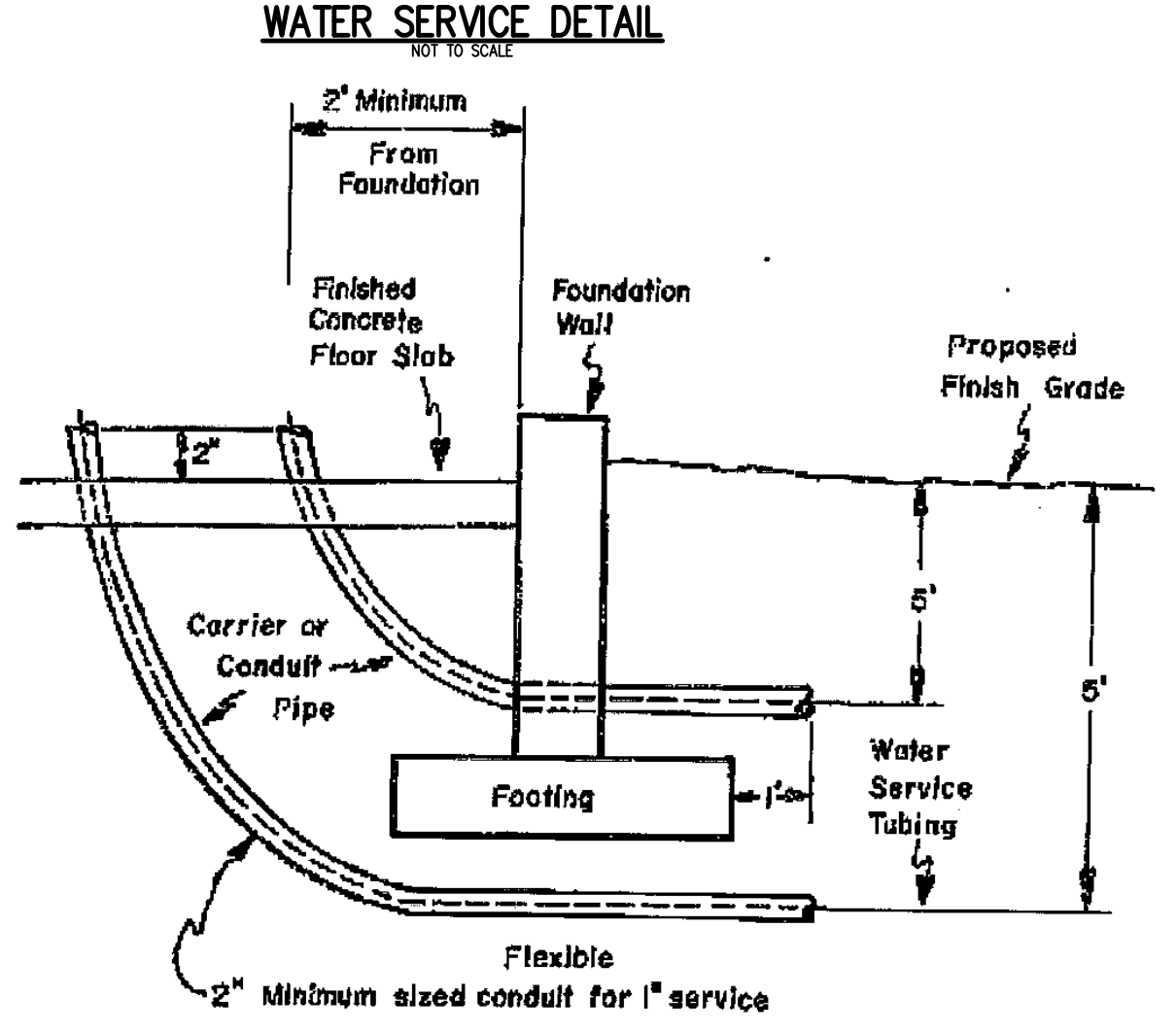
**SHEET NO.:** SHEET 4 OF 5      **PROJECT NO.:** G-689



SEWER TRENCH DETAIL

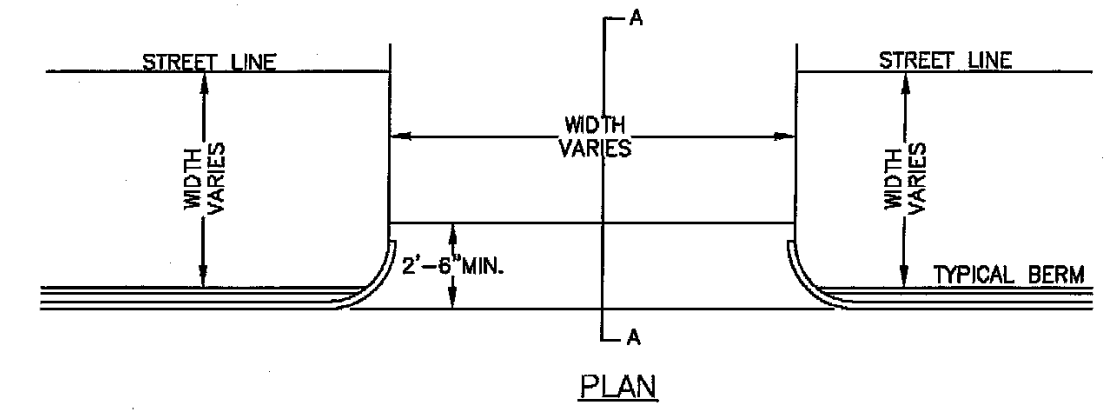


SEWER TEE & WYE CONNECTION

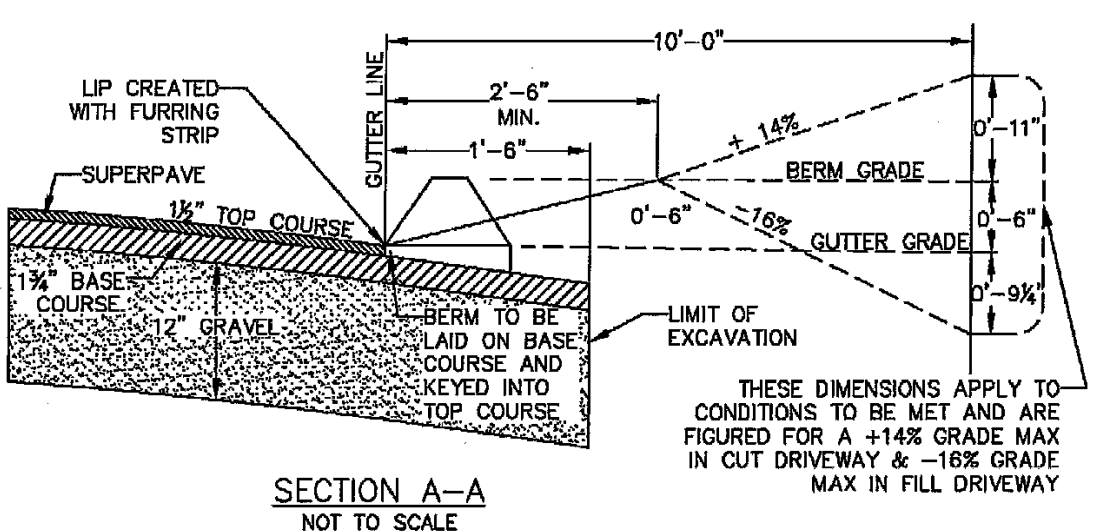


WATER SERVICE ENTRANCE

- GENERAL NOTES**
- When any water service 1-inch or less in size is to be installed under a concrete floor slab, the pipe shall be installed inside an approved conduit. This conduit shall be used as a sleeve or carrier pipe to receive the proposed water service tubing.
  - The size of the conduit shall be at least twice the diameter of the water service pipe being installed.
  - The conduit shall be installed as shown in drawing W-8D which is part of these specifications.



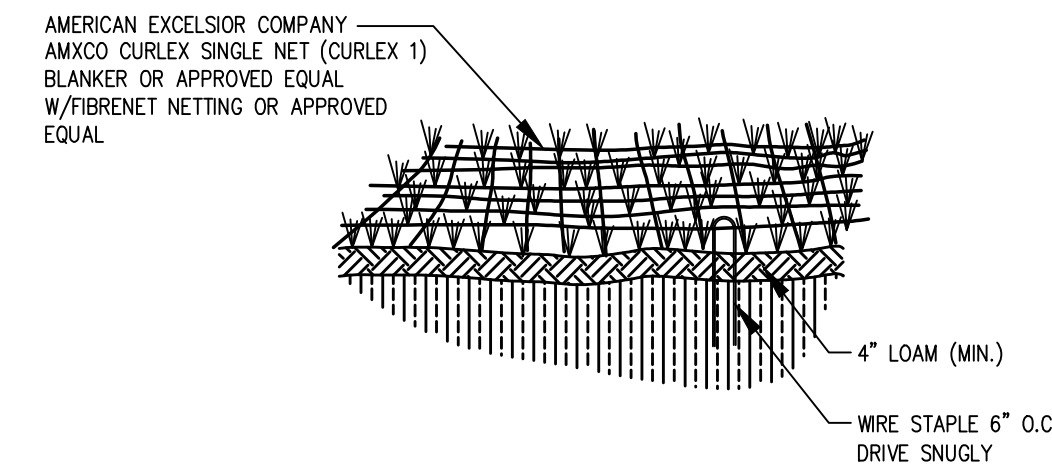
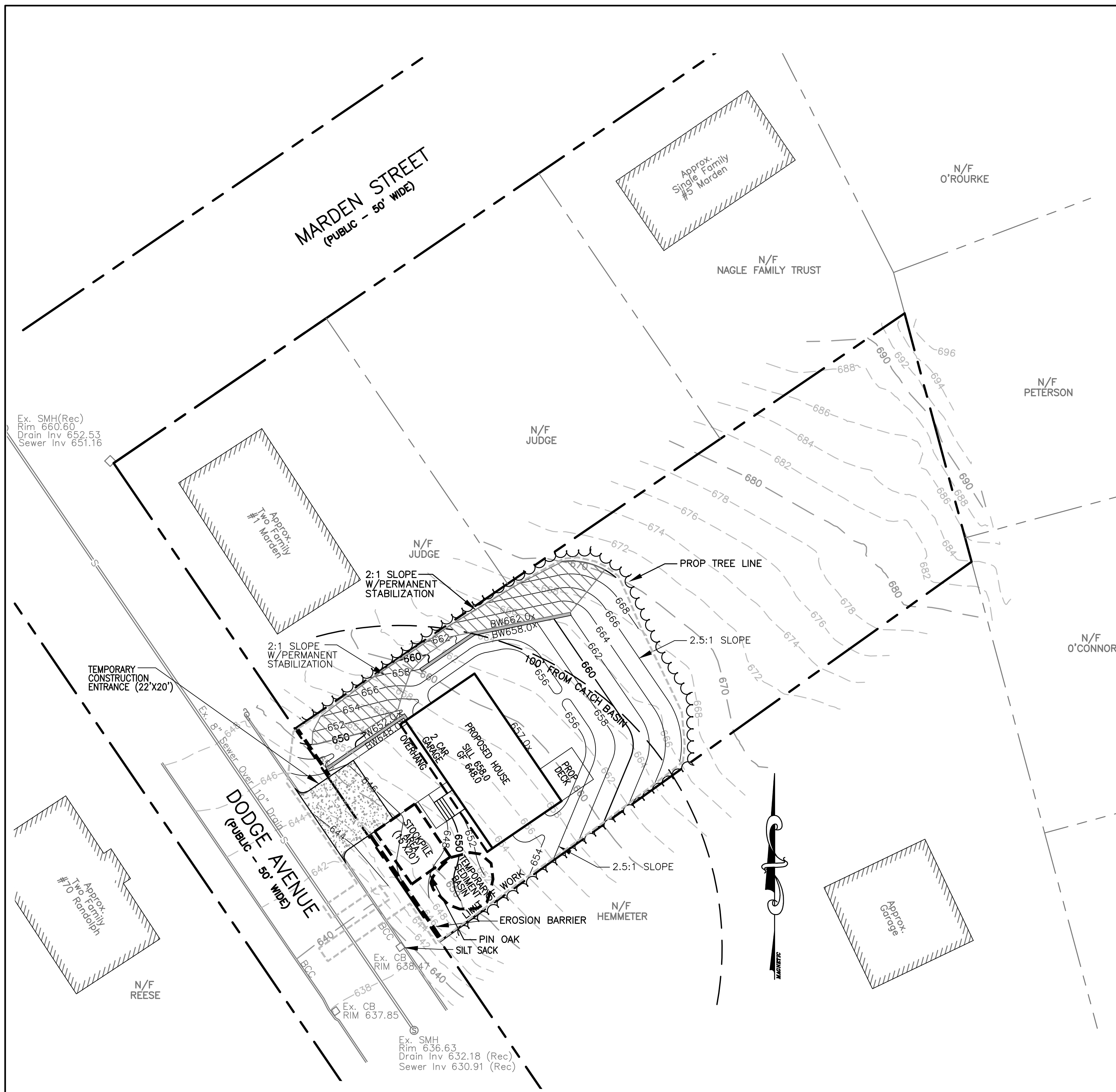
TYPICAL DRIVEWAY SECTION



SECTION A-A

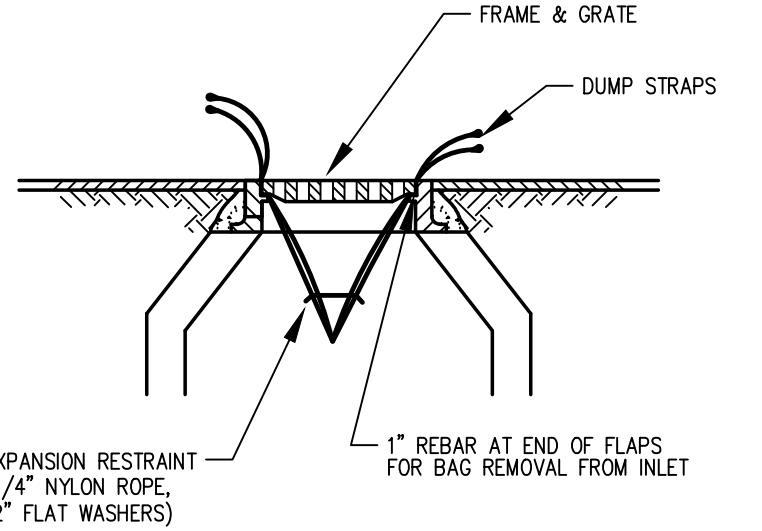


5/9/24



**PERMANENT SLOPE STABILIZATION**  
NOT TO SCALE

- NOTES:**
- BEFORE INSTALLATION, THE SEEDBED SHALL BE INSPECTED TO ENSURE IT HAS BEEN PROPERLY COMPACTED AND FINELY GRADED TO REMOVE ANY EXISTING RILLS. IT SHALL BE FREE OF OBSTRUCTIONS, SUCH AS TREE ROOTS, PROJECTIONS SUCH AS STONES, AND OTHER FOREIGN OBJECTS.
  - GRASS SEED SHALL MATCH SOIL CONDITIONS TO ALLOW FOR MAXIMUM GERMINATION, DENSE VEGETATION, AND A STRUCTURAL ROOT SYSTEM.
  - CONTRACTOR SHALL PROCEED WHEN SATISFACTORY CONDITIONS ARE PRESENT.
  - AFTER THE AREA HAS BEEN PROPERLY SHAPED, SEED, FERTILIZED, AND COMPACTED, LOCATE THE START OF THE ROLL, MAKING SURE THE ROLL IS FACING TOWARD THE AREA TO BE COVERED, AND THEN ROLL OUT THE BLANKET. BLANKETS SHALL BE ROLLED OUT FLAT, EVEN, AND SMOOTH WITHOUT STRETCHING THE MATERIAL THEN ANCHORED TO THE SUBGRADE.
  - IT IS RECOMMENDED THAT THE BLANKETS BE INSTALLED IN THE SAME DIRECTION AS THE WATER FLOW. HOWEVER ON SHORT SLOPES IT MAY BE MORE PRACTICAL TO INSTALL HORIZONTALLY ACROSS THE WIDTH OF THE APPLICATION.
  - IF MORE THAN ONE WIDTH IS REQUIRED, ABUT THE EDGES TOGETHER AND SECURE THE BLANKETS WITH A COMMON ROW OF BIODEGRADABLE STAPLES, STEEL STAPLES, OR STAKES.
  - OVERLAPPING OF CURLEX EXCELSIOR BLANKETS IS NOT REQUIRED OR RECOMMENDED. AN EXCEPTION IS WATERWAY SLOPES.



**SILT SACK DETAIL**  
NOT TO SCALE

- NOTE:**  
BAGS SHOULD BE CLEANED OUT AFTER EVERY RAIN EVENT AND/OR AS NEEDED.

**CONSTRUCTION SEQUENCING:**

- SELECTIVELY CUT TREES AND CLEAR BRUSH TO BE CHIPPED AND HAULED OFF SITE. NOTE THAT THE SITE IS IN THE ASIAN LONGHORNED BEETLE (ALB) REGULATED AREA.
- STAKE LOCATION OF AND INSTALL EROSION CONTROL BARRIER, CONSTRUCTION ENTRANCE AS DELINEATED ON SITE PLAN.
- STRIP TOP AND SUBSOIL AS NECESSARY IN WORK AREA. STOCKPILE MATERIAL ON SOUTHWESTERN PORTION OF LOT FOR BACKFILLING PURPOSES AT COMPLETION OF FOUNDATION CONSTRUCTION.
- FORM AND POUR FOUNDATION FOR NEW HOUSE
- BACKFILL FOUNDATION AREAS AS NECESSARY
- CONSTRUCT HOUSE
- CONSTRUCT DRIVEWAY AND LOAM AND SEED DISTURBED AREAS.
- ALL EXCESS MATERIALS TO BE REMOVED FROM THE SITE AS SOON AS PRACTICAL.
- ALL GRADED AREAS TO BE LANDSCAPED, LOAMED AND SEED AS SOON AS PRACTICAL TO REDUCE ANY POTENTIAL EROSION.

**NOTE:** PROCESSES AS DESCRIBED ABOVE ARE ESTIMATED TO TAKE 6 MONTHS. WINTER CONDITIONS MAY AFFECT THIS SCHEDULE.

**GENERAL:**

1. THIS PLAN IS INTENDED TO PROVIDE GUIDANCE AND INSTRUCTION TO THE CITY OF WORCESTER AND THE CONTRACTOR(S) IN THE PREVENTION OF EROSION AND SEDIMENTATION OFF SITE. THIS PLAN IS INTENDED TO ALLOW ANY CONDITIONS OF APPROVAL TO BE MORE SPECIFIC IN ADDRESSING ITEMS OF CONCERN. IF CONDITIONS BY THE CITY OF WORCESTER ARE IN CONFLICT WITH REQUIREMENTS AS SPECIFIED ON THE PLANS CONDITIONS AS SPECIFIED BY THE CITY OF WORCESTER SHALL SUPERSEDE THE REQUIREMENTS SPECIFIED ON THESE PLANS.

**PRE-CONSTRUCTION:**

- AN EROSION CONTROL BARRIER (SEE BELOW) SHALL BE INSTALLED AS DEPICTED ON THE PLANS, BETWEEN THE AREAS TO BE DISTURBED AND RECEIVING DRAINAGE WAY AND STRUCTURES. THIS BARRIER SHALL REMAIN IN PLACE UNTIL ALL TRIBUTARY SURFACES HAVE BEEN FULLY STABILIZED. THE EROSION CONTROL BARRIERS AS SHOWN ON THE PLANS ARE THE MINIMUM PROTECTIVE MEASURES REQUIRED TO PROTECT THE ON AND OFF SITE DRAINAGE SYSTEMS.
- THE CONTRACTOR SHALL ESTABLISH A STAGING AREA AS SHOWN ON THE PLAN FOR THE OVERNIGHT STORAGE OF EQUIPMENT AND STOCKPILING OF MATERIALS.
- IN THE STAGING AREA, THE CONTRACTOR SHALL HAVE A STOCKPILE OF MATERIALS REQUIRED TO CONTROL EROSION ON-SITE TO BE USED TO SUPPLEMENT OR REPAIR EROSION CONTROL DEVICES. THESE MATERIALS SHALL INCLUDE, BUT ARE NOT LIMITED TO: HAY BALES, SILT FENCE AND CRUSHED STONE.
- A TEMPORARY STONE CONSTRUCTION ENTRANCE IS REQUIRED TO PREVENT TRACKING OF SILT, MUD, ETC. ONTO EXISTING ROADS. THE STONE SHALL BE REPLACED REGULARLY AS WELL AS WHEN THE STONE IS SILT LOADED OR EQUIPMENT IS OBSERVED TO BE TRACKING SOIL ONTO THE ROADWAYS. SEE GENERAL CONSTRUCTION REQUIREMENTS, SEE NOTE #4 BELOW.
- THE CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL ON & OFF SITE AND SHALL UTILIZE EROSION CONTROL MEASURES WHERE NEEDED, REGARDLESS OF WHETHER THE MEASURES ARE SPECIFIED HEREIN, ON THE PLAN OR IN ANY ORDER OF CONDITIONS.

**PRELIMINARY SITE WORK:**

- MATERIAL REMOVED SHOULD BE STOCKPILED, SEPARATING THE TOPSOIL FOR FUTURE USE ON THE SITE OR IN A SECURED OFF SITE AREA APPROVED BY THE OWNER. EROSION CONTROLS SHALL BE UTILIZED ALONG THE DOWN SLOPE OF THE PILES IF THE PILES ARE TO REMAIN FOR MORE THAN THREE WEEKS.
- IF INTENSE RAINFALL IS ANTICIPATED, THE INSTALLATION OF SUPPLEMENTAL HAY BALE DIKES, SILT FENCES, OR ARMORED DIKES SHALL BE UTILIZED.
- IF THE SITE CONSTRUCTION OCCURS AT ANY TIME OTHER THAN THE APRIL - DECEMBER CONSTRUCTION SEASON, ALL DRAINAGE SYSTEMS TEMPORARY OR PERMANENT SHALL MAINTAIN TO ENSURE ADEQUATE HYDRAULIC CAPACITY, AND DRAINING CHARACTERISTICS.

**EROSION CONTROL MEASURES:**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT EROSION AND SEDIMENTATION ARE CONTROLLED. THIS PLAN SHALL BE ADAPTED TO FIT THE CONTRACTOR'S EQUIPMENT, WEATHER CONDITIONS, AND ANY CONDITIONS ISSUED BY THE CITY OF WORCESTER.
- THE MOST IMPORTANT ASPECTS OF CONTROLLING EROSION AND SEDIMENTATION ARE LIMITING THE EXTENT OF DISTURBANCE AND STABILIZING SURFACES AS SOON AS POSSIBLE. OF SECONDARY IMPORTANCE IN EROSION CONTROL IS THE LIMITING THE SIZE AND LENGTH OF THE TRIBUTARY DRAINAGE AREA WITHIN THE WORK SITE AND DRAINAGE STRUCTURES. THESE FUNDAMENTAL PRINCIPLES SHALL BE THE KEY FACTOR IN THE CONTRACTOR'S CONTROL OF EROSION ON THE SITE.
- THE EXISTING SOIL CONDITIONS PROVIDE THE POTENTIAL OF RUNOFF TO OFF-SITE AREAS WITH EROSION POTENTIAL.
- ALL DISTURBED SURFACES SHALL BE STABILIZED A MINIMUM OF 14 DAYS AFTER CONSTRUCTION IN ANY PORTION OF THE SITE HAS CEASED OR IS TEMPORARILY HALTED UNLESS ADDITIONAL CONSTRUCTION IS INTENDED TO BE INITIATED WITHIN 21 DAYS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ALL EROSION CONTROL DEVICES WITHIN THE LIMIT OF WORK. ALL EROSION CONTROL DEVICES SHALL BE REGULARLY INSPECTED. ANY SEDIMENTS REMOVED FROM THE CONTROL DEVICES SHALL BE DISPOSED OF.
- AT NO TIME SHALL SILT-LADEN WATER BE ALLOWED TO ENTER SENSITIVE AREAS (WETLANDS, OFF-SITE AREAS AND DRAINAGE SYSTEMS). ANY RUNOFF FROM DISTURBED SURFACES SHALL BE DIRECTED THROUGH SETTLING BASINS AND EROSION CONTROL BARRIERS PRIOR TO ENTERING ANY SENSITIVE AREAS.

**GENERAL CONSTRUCTION REQUIREMENTS:**

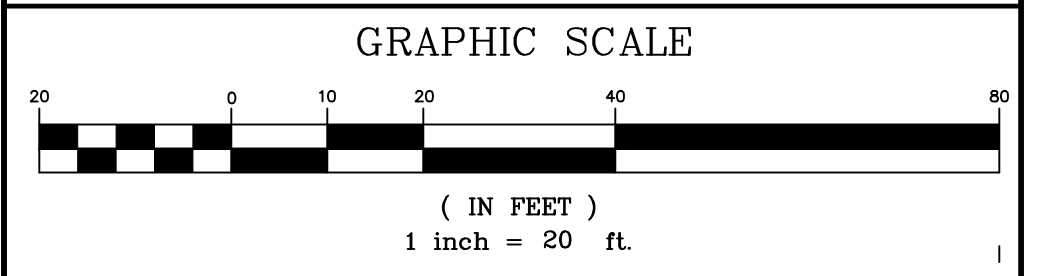
- ANY REFUELING OF CONSTRUCTION VEHICLES AND EQUIPMENT SHALL NOT TAKE PLACE INSIDE OF A 100 FOOT BUFFER ZONE, NEAR THE ENTRANCE TO ANY DRAINAGE SYSTEM AND SHALL NOT BE CONDUCTED IN PROXIMITY TO SEDIMENTATION BASINS.
- NO ON-SITE DISPOSAL OF STUMPS, SOLID WASTE, INCLUDING CONSTRUCTION MATERIALS IS ALLOWED.
- NO MATERIALS SHALL BE DISPOSED OF INTO THE WETLANDS, OR EXISTING/PROPOSED DRAINAGE SYSTEMS. ALL CONTRACTORS INCLUDING: CONCRETE SUPPLIERS, PAINTERS AND PLASTERERS, SHALL BE INFORMED THAT THE CLEANING OF EQUIPMENT IS PROHIBITED IN AREAS WHERE THE WASH-WATER WILL DRAIN DIRECTLY TO THE SITE DRAINAGE SYSTEMS.
- THE CONTRACTOR SHALL UNDERTAKE ALL WORK TO LIMIT AIRBORNE SEDIMENTS, ONLY CLEAN, POTABLE WATER MAY BE USED TO CONTROL DUST.

**LANDSCAPING:**

- LANDSCAPING SHALL OCCUR AS SOON AS POSSIBLE TO PROVIDE PERMANENT STABILIZATION OF DISTURBED SURFACES.
- CONTRACTOR SHALL UTILIZE A VARIETY OF SLOPE STABILIZATION METHODS AND MATERIALS WHICH SHALL BE ADJUSTED TO THE SITE CONDITIONS. EROSION CONTROL BLANKETS OR MIRAFI MIRAMAT (OR SIMILAR PRODUCTS) SHALL BE AVAILABLE ON SITE.
- IF THE SEASON OR ADVERSE WEATHER CONDITIONS DO NOT ALLOW THE ESTABLISHMENT OF VEGETATION, TEMPORARY MULCHING WITH HAY, TACKIFIED WOOD CHIPS OR OTHER METHODS SHALL BE PROVIDED.
- ALL DISTURBED SURFACES TO BE PLANTED SHALL RECEIVE A MINIMUM OF 6" TOPSOIL SHALL BE PLACED AND ITS SURFACE SMOOTHED TO THE SPECIFIED GRADES.
- ALL SLOPES OF 2.5:1 OR GREATER SHALL BE STABILIZED WITH EROSION CONTROL FABRIC.
- TO ENSURE A DENSE, SUCCESSION GROWTH, SEED IS REQUIRED ON ALL DISTURBED SURFACES.

**LEGEND:**

- EXISTING PROPERTY LINE
- 650 EXISTING CONTOUR - HIGH
- 648 EXISTING CONTOUR - LOW
- 650 PROPOSED CONTOUR - HIGH
- 648 PROPOSED CONTOUR - LOW
- EXISTING CURB PAVEMENT
- EXISTING CURB
- PROPOSED EDGE OF PAVEMENT
- CATCH BASIN BUFFER
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING SEWER LINE
- PROPOSED SEWER LINE
- EXISTING TREE LINE
- PROPOSED TREE LINE
- PROPOSED EROSION CONTROL



REV. NO.	DATE	REVISION

**TITLE:**  
**DEFINITIVE SITE PLAN**  
**FOR**  
**0 DODGE AVENUE**  
**WORCESTER, MASSACHUSETTS 01606**

**PREPARED FOR:**  
**SUNSHINE REAL ESTATE DEVELOPMENT INC.**  
**217 WEST BOYLSTON STREET**  
**WEST BOYLSTON, MASSACHUSETTS 01583**

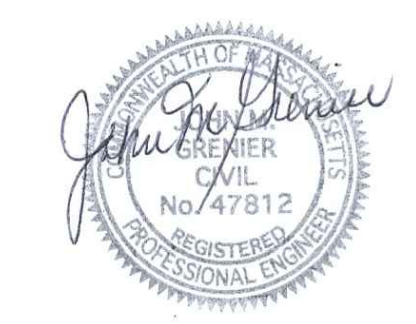
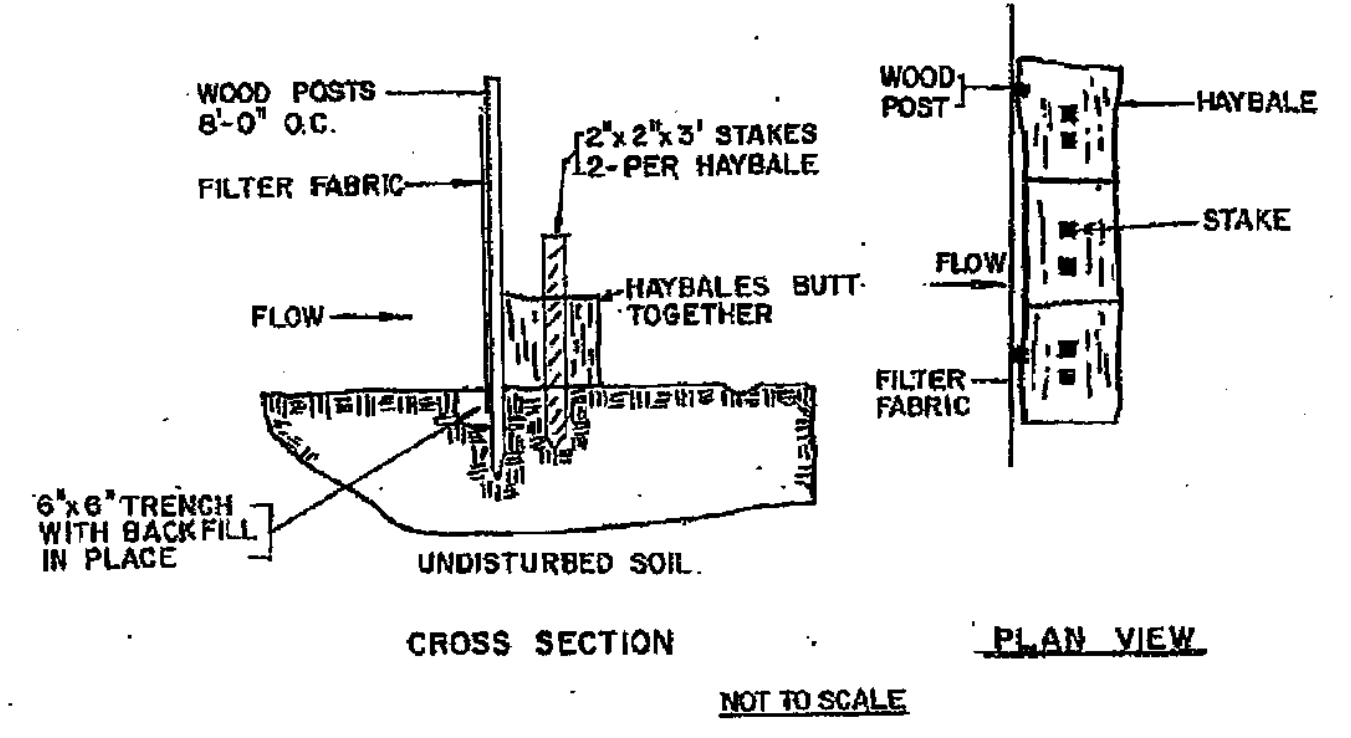
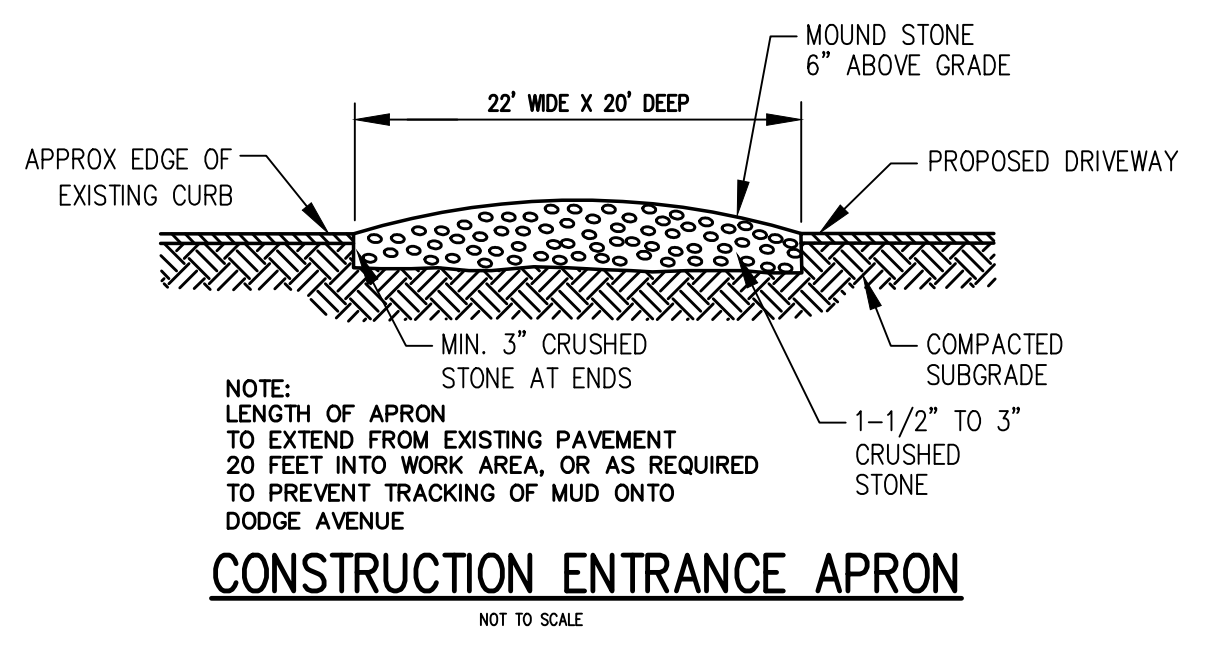
**PROPERTY OWNERS:**  
**CHARLES O. A. BUABENG**  
**4655 ALDINE MAIL ROUTE RD APT 3A**  
**HOUSTON, TEXAS 77039**  
**ESTHER ASARE**  
**4202 KESTREL RIDGE CT**  
**MANUEL, TEXAS 77578**

**PREPARED BY:**  
**J.M. GRENIER ASSOCIATES INC.**  
**118 TURNPIKE ROAD SUITE 200**  
**SOUTHBOROUGH, MASSACHUSETTS 01772**  
TELE NO.: (508) 845-2500 jmgrenier@townisp.com

**SCALE:** 1" = 20'  
**DATE:** MAY 9, 2024

**EROSION & SEDIMENTATION CONTROL PLAN**

**SHEET NO.:** SHEET 5 OF 5  
**PROJECT NO.:** G-689



5/9/24